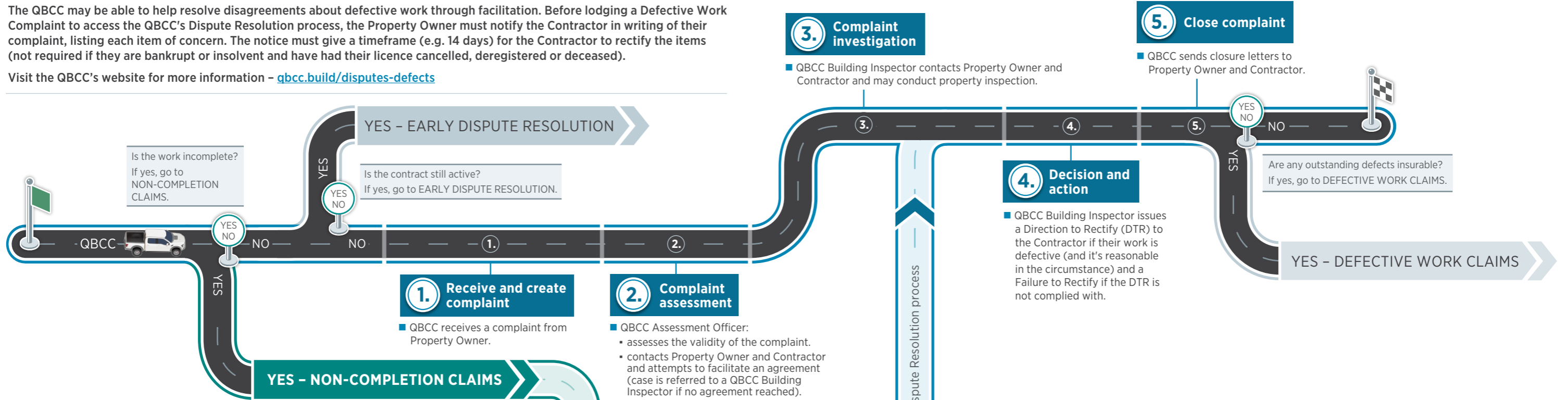


# QBCC'S DISPUTE RESOLUTION

The QBCC may be able to help resolve disagreements about defective work through facilitation. Before lodging a Defective Work Complaint to access the QBCC's Dispute Resolution process, the Property Owner must notify the Contractor in writing of their complaint, listing each item of concern. The notice must give a timeframe (e.g. 14 days) for the Contractor to rectify the items (not required if they are bankrupt or insolvent and have had their licence cancelled, deregistered or deceased).

Visit the QBCC's website for more information - [qbcc.build/disputes-defects](http://qbcc.build/disputes-defects)



## QBCC'S NON-COMPLETION CLAIMS

The Property Owner may lodge a claim for non-completion of building work when a Contractor has not completed all work under a contract for residential construction work. The QBCC's Non-completion Claims process assesses the Property Owner's eligibility under the Queensland Home Warranty Scheme (QHWS). The QHWS can pay for the loss the Property Owner suffers as a result of their Contractor being unable to complete their building project.

Visit the QBCC's website for more information - [qbcc.build/disputes-non-comp](http://qbcc.build/disputes-non-comp) and [qbcc.build/claims-non-comp](http://qbcc.build/claims-non-comp)

